

GENERALIZED DEVELOPMENT PLAN  
(GDP)

# SPARGER STREET PROPERTY

Dranesville District  
Fairfax County, Virginia  
APRIL, 2001

REVISED OCTOBER 9, 2001  
REVISED OCTOBER 24, 2001  
REVISED NOVEMBER 12, 2001

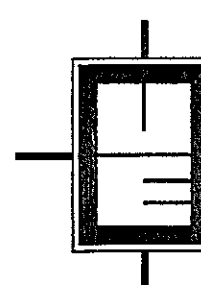
## DRAWING LIST

| SHEET # | TITLE                   |
|---------|-------------------------|
| 1       | COVER SHEET             |
| 2       | NOTES                   |
| 3       | GDP LAYOUT              |
| 4       | REZONING PLAT           |
| 5       | EXISTING VEGETATION MAP |

### ATTORNEY:

STEVEN K. FOX PC  
10511 JUDICIAL DRIVE SUITE 112  
FAIRFAX, VIRGINIA 22030  
703-273-7220

### CIVIL ENGINEER:



URBAN ENGINEERING & ASSOC., INC.

CIVIL ENGINEERS • LANDSCAPE ARCHITECTS • LAND SURVEYORS  
7712 LITTLE RIVER TURNPIKE  
ANNANDALE, VIRGINIA 22003 (703) 642-8080

### PREPARED FOR:

HUNTER DEVELOPMENT COMPANY

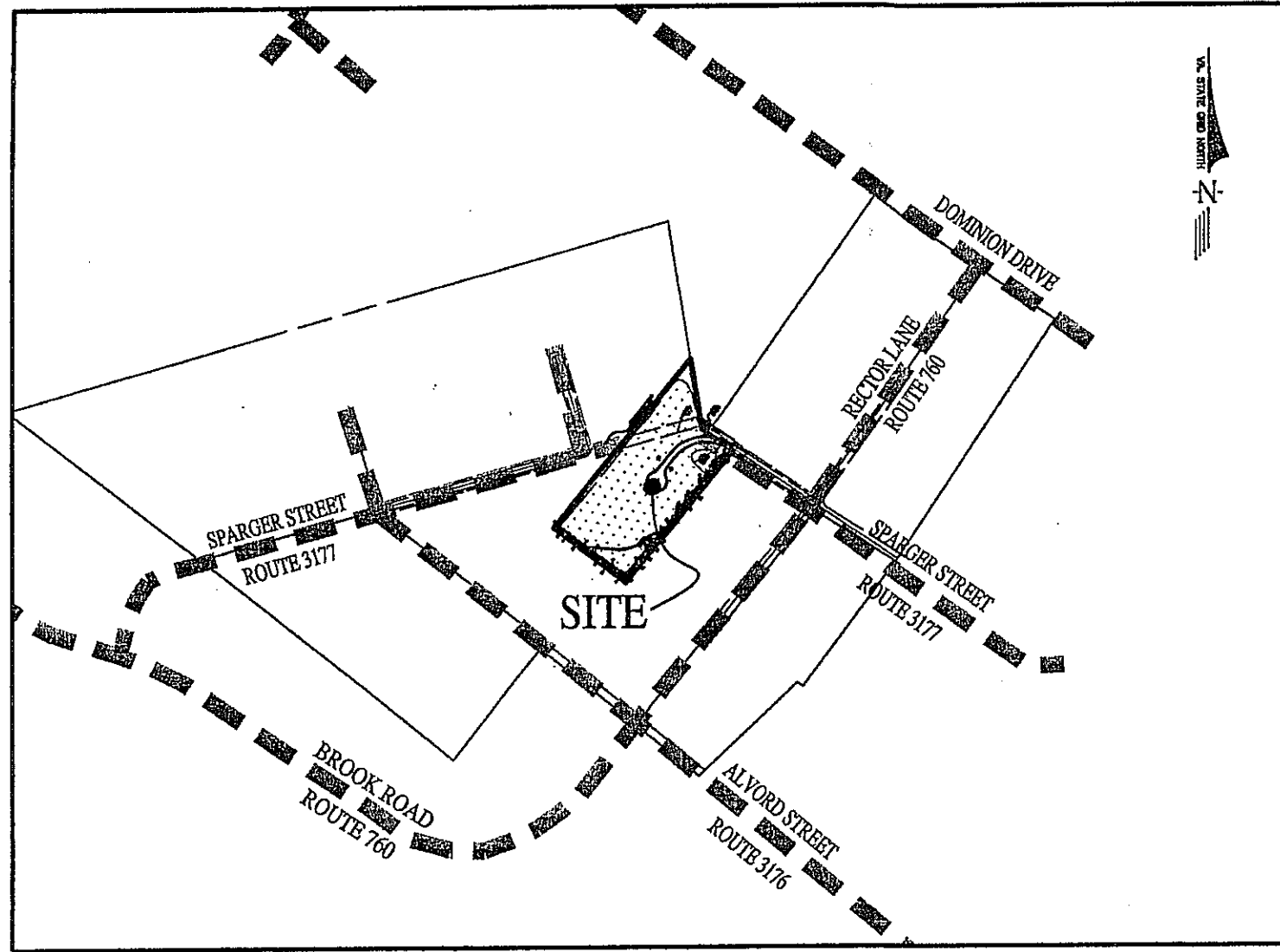
5036 CORSAIR TERRACE  
LAKE ANNA, VIRGINIA 23117  
540-895-5937

RECEIVED  
DEPARTMENT OF PLANNING AND ZONING  
NOV 13 2001  
ZONING EVALUATION DIVISION

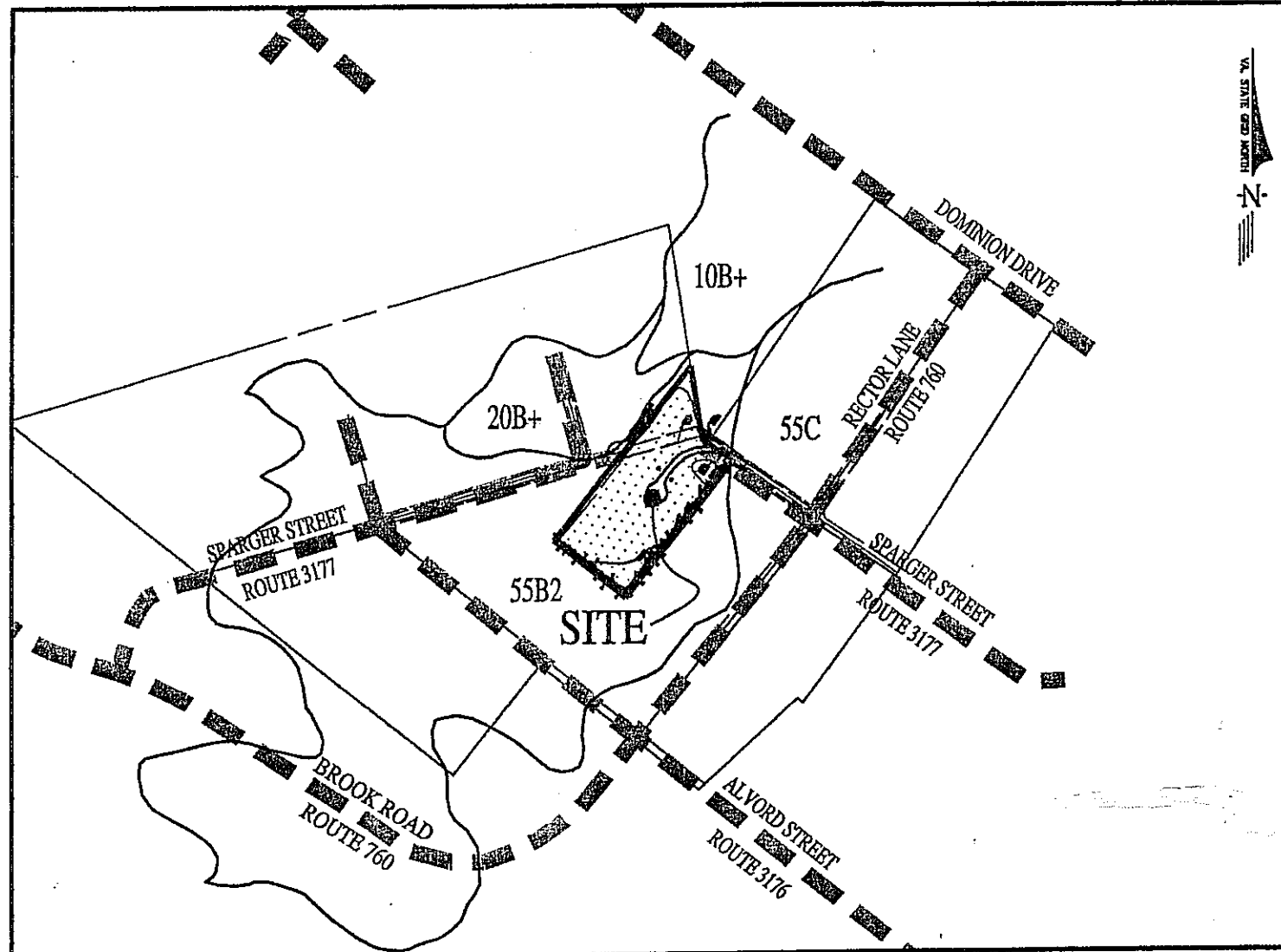


Application No. DE-036 Staff CAB  
APPROVED DEVELOPMENT PLAN  
(DP) (GDP) (CDP) (FDP)  
SEE PROFFERS DATED 12/7/01  
Date of (BOS)/(PC) approval 1/7/02  
Sheet 1 of 5

SHEET 1 OF 5  
MISC-1237



VICINITY MAP  
SCALE: 1"= 500'



SOIL MAP  
SCALE: 1"= 500'

| SOIL I.D. NUMBERS | SERIES NAME | FOUNDATION SUPPORT | SUBSURFACE DRAINAGE | SLOPE STABILITY | EROSION POTENTIAL | GEOTECHNICAL REPORT REQ'D | PROBLEM SOIL CLASS |
|-------------------|-------------|--------------------|---------------------|-----------------|-------------------|---------------------------|--------------------|
| 55B2              | GLENELG     | GOOD               | GOOD                | GOOD            | SEVERE            | NO                        | B                  |

NOTES:

1. THE SUBJECT PROPERTY IS LOCATED ON FAIRFAX COUNTY TAX MAP 20-3 ((1)) PARCEL 24.
2. SEE THE REZONING PLAT INCORPORATED IN THIS SET FOR THE PROPERTY OWNERS BY PARCEL. THE CONTRACT OWNER FOR PARCELS 24 OF FAIRFAX COUNTY TAX MAP NUMBER 20-3 ((1)) IS HUNTER DEVELOPMENT COMPANY
3. THERE ARE NO FLOOD PLAINS ON THE SUBJECT PROPERTY AS DESIGNATED BY THE FEDERAL INSURANCE ADMINISTRATION OR THE UNITED STATES GEOLOGICAL SURVEY. THERE ARE NO RESOURCE PROTECTION AREAS (RPA'S) ON THE SUBJECT PROPERTY ACCORDING TO THE FAIRFAX COUNTY RPA MAPS.
4. THERE ARE NO KNOWN GRAVES OR OBJECTS OR STRUCTURES MARKING PLACES OF BURIAL WITHIN THE SITE.
5. THE PROPOSED DENSITY IS WITHIN THE RANGE AS RECOMMENDED BY THE FAIRFAX COUNTY COMPREHENSIVE LAND USE PLAN (1 DWELLING UNIT PER ACRE).
6. THE PROPOSED DEVELOPMENT ON THE SUBJECT PROPERTY WILL NOT POSE ANY ADVERSE EFFECT ON ADJACENT OR NEIGHBORING PROPERTIES.
7. ALL EXISTING STRUCTURES LOCATED ON THE PROPOSED SITE WILL BE DEMOLISHED AND THE EXISTING UTILITIES WILL EITHER BE UTILIZED OR RELOCATED AS WILL BE DETERMINED WITH THE FINAL ENGINEERING PLANS.
8. THIS DEVELOPMENT WILL CONFORM TO THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS AND ADOPTED STANDARDS, OR IF ANY WAIVER, EXCEPTION OR VARIANCE IS SOUGHT BY THE APPLICANT, SUCH SHALL BE SPECIFICALLY NOTED WITH THE JUSTIFICATION FOR SUCH MODIFICATION.
9. THERE ARE NO KNOWN HAZARDOUS OR TOXIC SUBSTANCES LOCATED ON THIS SITE AS SET FORTH IN TITLE 40, CODE OF FEDERAL REGULATIONS PARTS 116.4, 302.4 AND 355; ALL HAZARDOUS WASTE AS SET FORTH IN COMMONWEALTH OF VIRGINIA/DEPARTMENT OF WASTE MANAGEMENT VR 672-10-1- VIRGINIA HAZARDOUS WASTE MANAGEMENT REGULATIONS; AND/OR PETROLEUM PRODUCTS AS DEFINED IN TITLE 40, CODE OF FEDERAL REGULATIONS PART 280; TO BE GENERATED, UTILIZED, STORED, TREATED, AND/OR DISPOSED OF ON SITE AND THE SIZE AND CONTENTS OF ANY EXISTING OR PROPOSED STORAGE TANKS OR CONTAINERS.
10. THIS EXISTING TOPOGRAPHY WAS INTERPOLATED FROM 1"=500' SCALE FAIRFAX COUNTY TOPOGRAPHIC MAPS.
11. THIS PROJECT IS TO BE DEVELOPED IN A SINGLE PHASE.
12. PARKING WILL BE PROVIDED IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE 11 OF THE ZONING ORDINANCE. SEE TABULATION ON SHEET 3.
13. IN ACCORDANCE WITH PARAGRAPH 5 OF SECTION 18-204 OF THE ZONING ORDINANCE, MINOR MODIFICATIONS TO THE SIZES, DIMENSIONS, AND/OR FOOTPRINTS AND LOCATIONS OF BUILDINGS, SIDEWALKS, TRAILS AND UTILITIES MAY OCCUR WITH FINAL ENGINEERING AND DESIGN WITHOUT REQUIRING AND AMENDMENT TO THIS GDP.
14. THE LIMITS OF CLEARING AND GRADING REPRESENTED ON THE GRAPHIC ARE PRELIMINARY AND SUBJECT TO MINOR MODIFICATION AT THE TIME OF FINAL ENGINEERING AND DESIGN. LANDSCAPING AND TREE COVER CONSISTING OF A COMBINATION OF EVERGREEN AND DECIDUOUS TREES WILL BE PROVIDED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF ARTICLE 13.
15. SUBJECT TO MARKET CONDITIONS, IT IS CURRENTLY ANTICIPATED THAT CONSTRUCTION OF THE PROPOSED DEVELOPMENT WILL COMMENCE AS SOON AS ALL NECESSARY COUNTY APPROVALS AND PERMITS ARE OBTAINED.
16. THE DEVELOPER RESERVES THE RIGHT TO LOCATE TEMPORARY CONSTRUCTION/SALES/LEASING TRAILERS ON THE SITE IN ACCORDANCE WITH COUNTY REQUIREMENTS.
17. THERE ARE NO SIDEWALKS OR TRAILS REQUIRED ON THE SUBJECT SITE.
18. THE PROPERTY WILL BE SERVED BY INDIVIDUAL DRAINFIELD SYSTEMS. SPECIFIC LOCATIONS TO BE APPROVED BY HEALTH DEPARTMENT.
19. WATER WILL BE PROVIDED FROM INDIVIDUAL PRIVATE WELLS.
20. THERE ARE NO KNOWN MAJOR UTILITY EASEMENTS LOCATED ON THE SUBJECT PROPERTY.
21. THE CONSTRUCTION DATE OF THE EXISTING ONSITE STRUCTURES IS UNKNOWN.
22. THERE ARE NO SPECIAL AMENITIES PROPOSED WITH THIS PROJECT.
23. LANDSCAPING WILL BE PROVIDED IN ACCORDANCE WITH TREE COVER REQUIREMENT AS TO BE DETERMINED WITH FINAL ENGINEERING PLANS.
24. A WAIVER OF THE MINIMUM CUL-DE-SAC RADIUS IS REQUESTED TO PERMIT 30 FEET FROM CENTER POINT TO EDGE OF PAVEMENT.
25. A WAIVER OF THE STORMWATER MANAGEMENT AND BMP REQUIREMENTS WILL BE REQUESTED.
26. OVERALL IMPERVIOUS SURFACE AREA WILL BE REDUCED WITH THIS PROJECT. HENCE, STORMWATER MANAGEMENT (SWM) AND BMP REQUIREMENTS WILL BE SATISFIED. HOWEVER, IF DEEMED REQUIRED DURING REVIEW OF CONSTRUCTION PLANS, A SEPARATE SWM/BMP FACILITY WILL BE PROVIDED IN THE APPROXIMATE LOCATION SHOWN ON SHEET 3.

Application No. R22001-DR-036 Staff CYB  
APPROVED DEVELOPMENT PLAN  
(DP) (GDP) (CDP) (FDP)  
SEE PROFFERS DATED 12/1/01  
Date of (BOS) (PC) approval 1/7/02  
Sheet 2 of 5

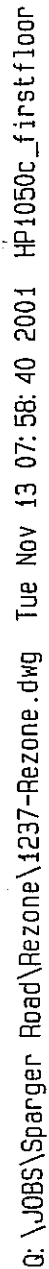
NOTES AND TABULATIONS  
SPARGER STREET PROPERTY  
DRANESVILLE DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SHEET  
2  
OF  
5  
FILE No.  
MISC-1237

URBAN ENGINEERING & ASSOC., INC.  
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS • LAND SURVEYORS  
7712 LITTLE RIVER TURNPIKE  
ANNANDALE, VIRGINIA 22003 (703) 642-6080

COMMISSION OF VIRGINIA  
DAVID T. McELHANEY  
No. 022045  
1/12/01  
PROFESSIONAL

| PLAN DATE | REVISIONS |
|-----------|-----------|
| 03-12-01  |           |
| 04-07-01  |           |
| 04-27-01  |           |
| 10-09-01  |           |
| 10-24-01  |           |





# NOTES

1. THE PROPERTIES DELINEATED HEREON ARE LOCATED ON FAIRFAX COUNTY TAX MAP NUMBER 20-3-((1)) PARCELS 24
2. BOUNDARY INFORMATION AS SHOWN IS BASED ON AVAILABLE RECORDS AND INFORMATION AND DOES NOT REPRESENT A FIELD RUN BOUNDARY SURVEY BY URBAN ENGINEERING AND ASSOCIATES, INC.
3. TOTAL AREA OF REZONING: 3.54 ACRES
4. PROPOSED ZONING: R-1  
PROPOSED USE: RESIDENTIAL - SINGLE FAMILY DETACHED
5. A TITLE REPORT HAS NOT BEEN PROVIDED, SUCH REPORT MAY REFLECT RIGHT-OF-WAY, EASEMENTS OR OTHER CIRCUMSTANCES AFFECTING THE PROPERTY SHOWN.

TM 20-3((8))-26  
LAWRENCE P. STICH  
DB 3027 PAGE 37  
ZONED R-1  
USE SINGLE DWELLING

TM 20-3((8))-30  
CAMPBELL C. LEWIS  
DB 7947 PAGE 127  
ZONED R-1  
USE SINGLE DWELLING

THE SECTION OF SPARGER STREET RIGHT OF WAY (ROUTE 3177)  
SOUTHEAST OF NELSON COURT (ROUTE 3178) SHALL BE  
VACATED/ABANDONED IF REQUIRED BY FAIRFAX COUNTY

TOTAL SITE AREA  
154,114 SF  
3.54 AC

TM 20-3((1))-24B  
LEROY A. TR. BRAZELL  
DB 11211 PAGE 842  
ZONED R-1  
USE SINGLE DWELLING

TM 20-3((2))-1  
HEIRS OF MARTHA R. WING  
DB 1423 PAGE 4  
ZONED R-E  
USE VACANT

TM 20-3((1))-24A  
ALDO M. ROSENBLAT  
DB 5982 PAGE 1745  
ZONED R-1  
USE SINGLE DWELLING

TM 20-3((8))-17  
RICHARD D. CRUNTZ JR.  
DB 9345 PAGE 555  
ZONED R-1  
USE SINGLE DWELLING

TM 20-3((8))-18  
HUGH F. RICHARDSON  
DB 6279 PAGE 1571  
ZONED R-1  
USE SINGLE DWELLING

TM 20-3((8))-19  
ROBERT L. MITCH  
DB 6915 PAGE 1059  
ZONED R-1  
USE SINGLE DWELLING

TM 20-3((8))-12  
KYLE H. WOODBURY  
DB 3051 PAGE 429  
ZONED R-1  
USE SINGLE DWELLING

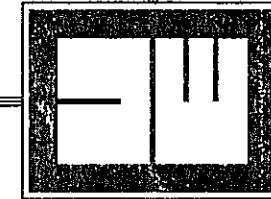
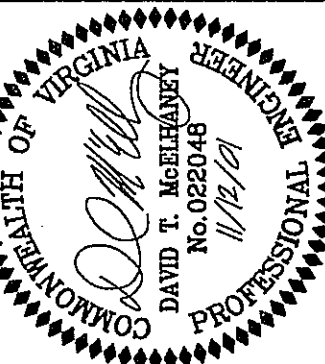
Application No. **RZ-2001-036** Staff **RMS**  
APPROVED DEVELOPMENT PLAN  
(DP) (SDP) (CDP) (FDP)  
SEE PROFFERS DATED **12/7/01**  
Date of **603** (PC) approval **1/7/02**  
Sheet **4** of **5**

REZONING PLAT

SPARGER STREET PROPERTY  
DRANESVILLE DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE: 1"=50' DATE: MARCH 2001 C.I. N/A

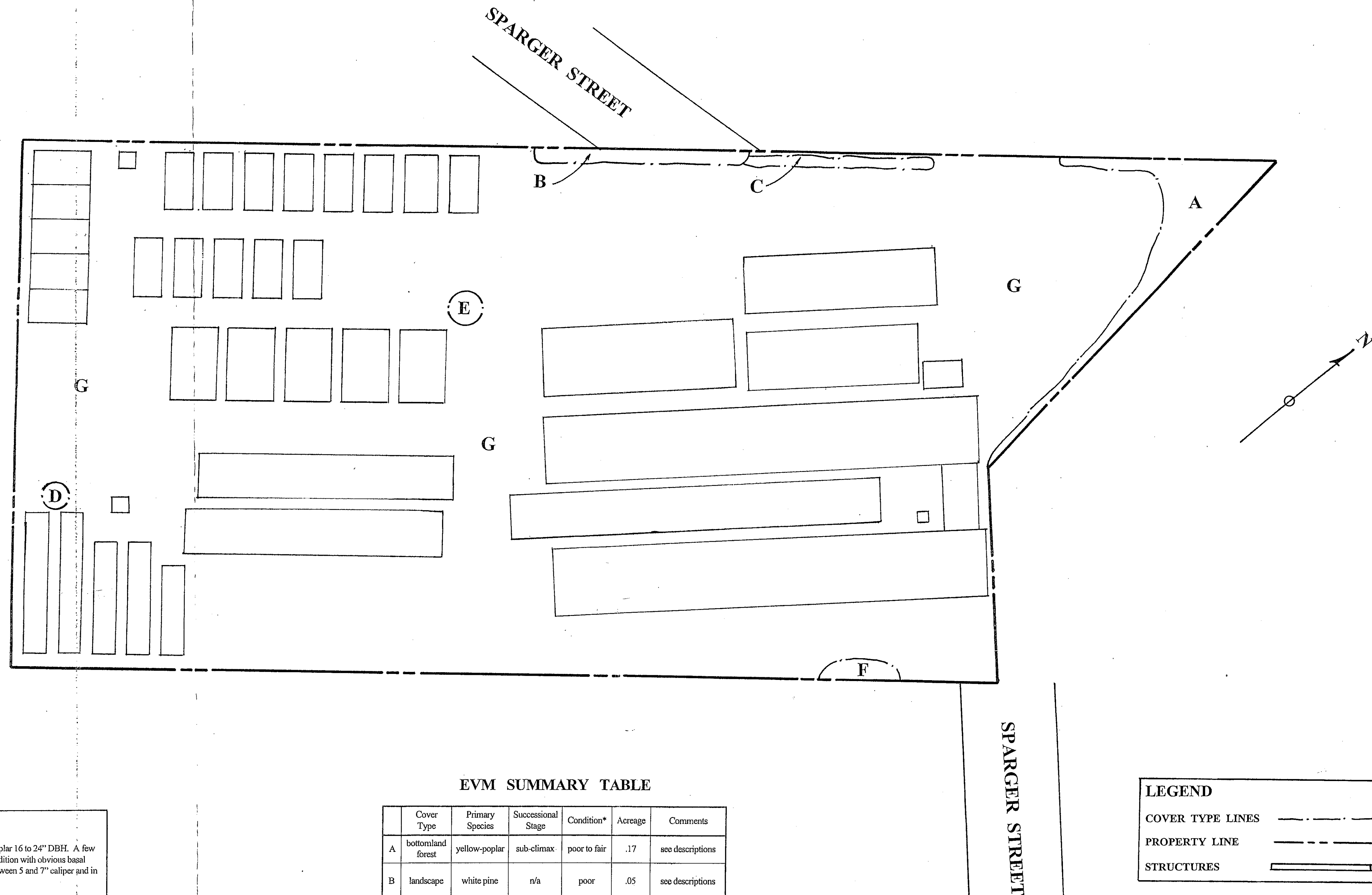
SHEET  
4  
OF  
5  
FILE No.  
MISC-1237



URBAN ENGINEERING & ASSOC., INC.  
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS • LAND SURVEYORS  
7712 LITTLE RIVER TURNPIKE  
ANNANDALE, VIRGINIA 22003 (703) 642-0090

PLANDATE  
09-13-01  
09-14-01  
09-15-01  
10-09-01  
10-24-01

REVISIONS  
No. DATE DESCRIPTION



\* Condition descriptions:

**Cover type A:** Small wooded area consisting mostly of yellow-poplar 16 to 24" DBH. A few hickory and red maples are also present. Most trees are in poor condition with obvious basal decay. There are six American hollies in the understorey that are between 5 and 7" caliper and in fair condition.

**Cover type B:** Row of planted white pines 12 to 18" DBH in poor condition.

**Cover type C:** Row of planted eastern arborvitae 6 to 12" DBH in fair condition. All are one sided.

**Cover type D:** Single 30" tree in fair condition. Visible root damage.

**Cover type E:** Single 23" tree in poor condition. Basal decay and root damage evident.

**Cover type F:** Small area of black locust 12 to 16" DBH in very poor condition.

**Cover type G:** Structures, greenhouses, flowerbeds, and developed areas.

ACREAGES AND COVER TYPE LINES ARE ESTIMATES BASED ON FIELD OBSERVATIONS.  
BUILDING LOCATIONS ARE ESTIMATES

EVM SUMMARY TABLE

|               | Cover Type        | Primary Species    | Successional Stage | Condition*   | Acreage | Comments         |
|---------------|-------------------|--------------------|--------------------|--------------|---------|------------------|
| A             | bottomland forest | yellow-poplar      | sub-climax         | poor to fair | .17     | see descriptions |
| B             | landscape         | white pine         | n/a                | poor         | .05     | see descriptions |
| C             | landscape         | eastern arborvitae | n/a                | poor to fair | .06     | see descriptions |
| D             | landscape         | dawn redwood       | n/a                | fair         | .01     | see descriptions |
| E             | landscape         | yellow-poplar      | n/a                | poor         | .01     | see descriptions |
| F             | upland forest     | black locust       | pioneer            | poor         | .02     | see descriptions |
| G             | developed         | n/a                | n/a                | n/or         | 3.04    | see descriptions |
| TOTAL ACREAGE |                   |                    |                    |              | 3.54    |                  |

| LEGEND           |     |
|------------------|-----|
| COVER TYPE LINES | --- |
| PROPERTY LINE    | --- |
| STRUCTURES       | --- |

Application No. R2-2005-DE-036 Staff CAS  
APPROVED DEVELOPMENT PLAN  
(DP) (BDP) (CDP) (FDP)  
SEE PROFFERS DATED 12/1/01  
Date of (BOS) (PC) approval 1/1/02  
Sheet 5 of 5

Zimar & Associates, Inc.  
Arboriculture • Forestry • Consulting  
Post Office Box 855 • Manassas, Virginia 20113  
Tel (703) 331-3731 • Fax (703) 331-1359



EXISTING VEGETATION MAP  
SPARGER STREET PROPERTY  
DRAVESVILLE DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE: 1"=50' DRAWN BY: EFK, ISA #MA-0461 DATE: 02-19-01

SHEET  
5  
OF  
5  
FILE NO.  
MISC-1237